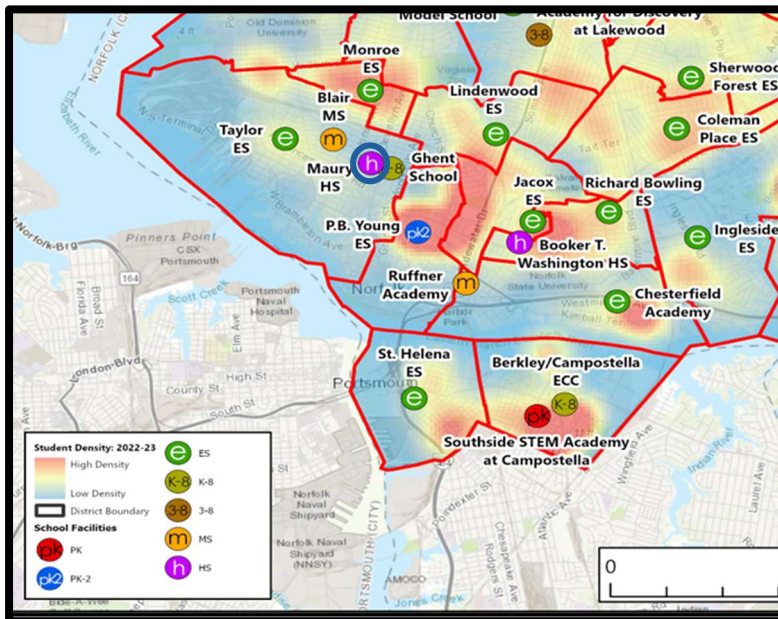


MAURY HIGH SCHOOL

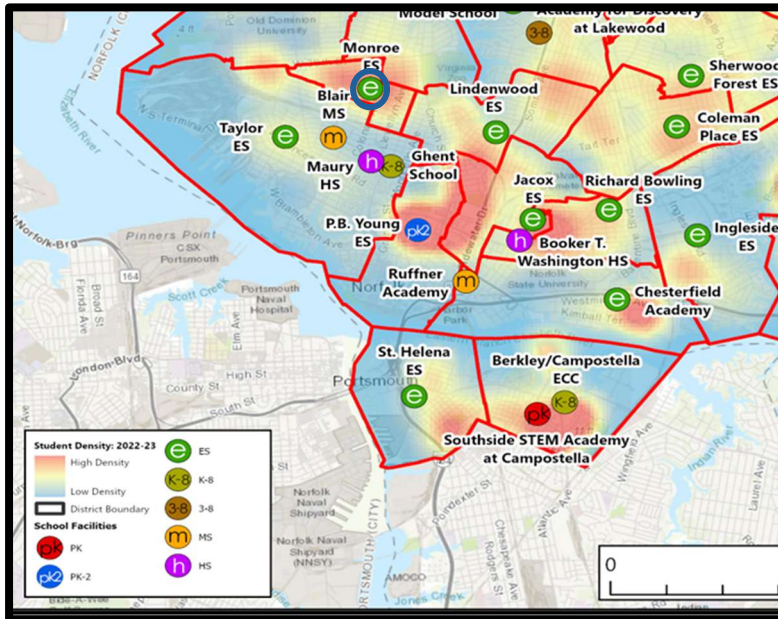


Acreage	
Age	
Capacity w/Portables	1,743
2024 Enrollment	1,673
2024 Utilization	96%
2025 FCI	n/a – in design
Replacement Value	Est. \$240M
Rec. Year	1
School Year	2026-27
Action	Rebuild
FMP Plan	Rebuild Maury HS
Relocation Plan	N/A – Rebuild on Site

Notes: Currently at 35% design. Rec. close Ghent to allow room for more comprehensive site development.

- Maury HS has already been approved by the BOE and funds allocated by the city of Norfolk.
- The Ghent facility is on the same site; if this program remains in this location the future Maury HS would not have standard HS fields and athletic opportunities & Ghent would lose ~7 of its current 13 acres
 - NPS does not want to make a nearly ¼ billion-dollar investment in a new HS and not have standard athletic opportunities for students
 - This plan also enables Granby HS to have standard fields, which once completed would provide all NPS HS students equitable athletic opportunities

MONROE ELEMENTARY SCHOOL



Acreage	12.8
Age	35
Capacity w/Portables	563
2024 Enrollment	293
2024 Utilization	52%
2025 FCI	60%
Replacement Value	\$30M
Rec. Year	1
School Year	2026-27
Action	Repurpose
FMP Plan	Repurpose Monroe ES for Ghent program
Relocation Plan: Relocate most K-5 students Larchmont & Willard, and all PreK students to Larchmont ES.	

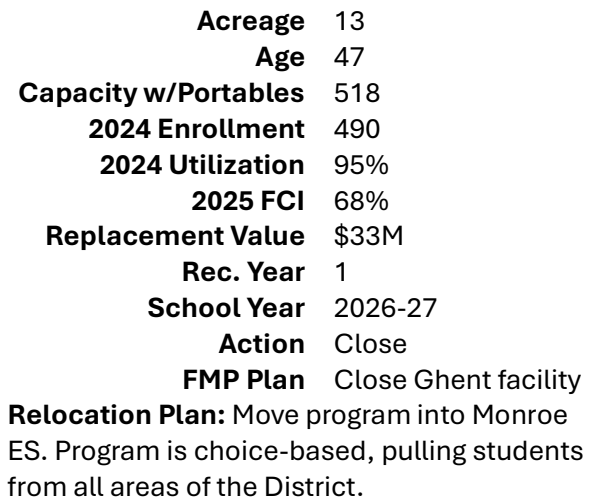
Notes:

- Monroe has 12.8 acres
- Moves eliminates current traffic challenge (see notes for Ghent program)
- Rezoning the current student population to Larchmont (1.7 miles) and Willard (2.4) aligns with the board directive to promote diversity and reduce concentrations of poverty
- Projected enrollment in the next three years leaves more than enough capacity to implement the draft plan

FUTURE STATE W/CONSOLIDATIONS: BASED ON 2028-29 Projections & DRAFT Facility Plan

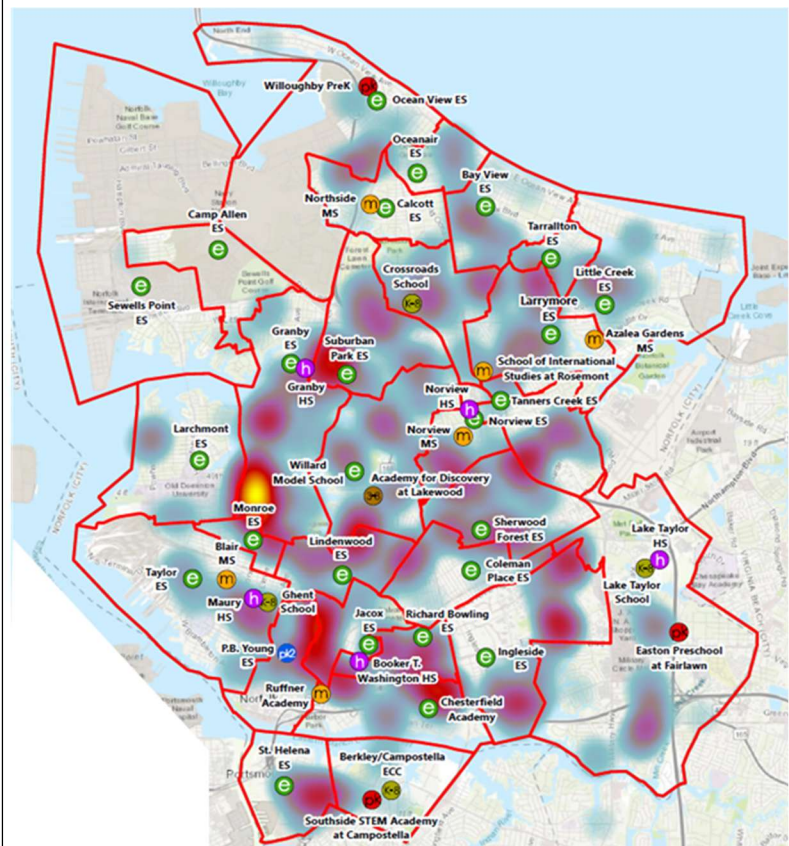
School	Age of Original Building	SF	Capacity w/o Portables	2028-29 PROJ enrollment	
Larchmont Elementary	7	89,962	707	554	78%
Lindenwood Elementary	71	54,900			
Monroe Elementary (New Ghent School)	67	64,000			
Taylor Elementary	34	54,786	495	367	74%
Willard Elementary	72	80,925	833	652	78%
			2035	1573	77%

- Projected Larchmont students + PK from Monroe + 50% K-5
- Lindenwood moves in whole to Willard in 2028
- PK from Monroe moves to Larchmont, split remaining students between Larchmont & Willard 50/50
- Willard receives 100% of Lindenwood + 50% of Monroe K-5

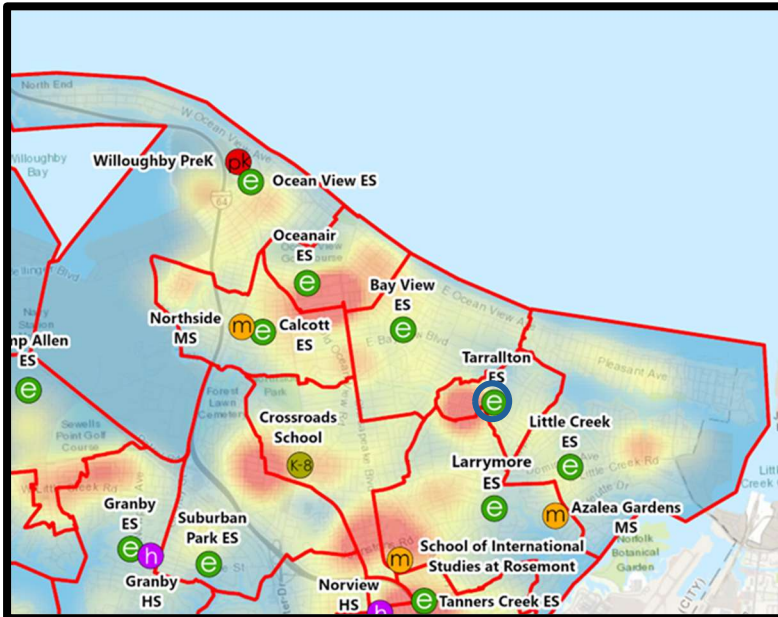


- Current location:
 - 5 communal classrooms divided into a total of 20 + 6 modified.
 - Outside field space is limited: 5 total acres
 - Middle school students do not have the space needed to add elective classrooms.
 - Parents drop off and pick up currently creating traffic backups on Granby Street, City Engineer John Stevenson and Lt. Mike Felix of NPD have addressed this but it remains a challenge
- Move to Monroe:
 - 31 classrooms, 8 of which are upstairs which can create a designated MS student space.
 - Maintain current 13 acres + access to adjoined recreation center
 - Off street bus and students drop off parking lot.
 - The building is 12 years younger (1990)
 - 1.1 miles from current location

Ghent student density distribution



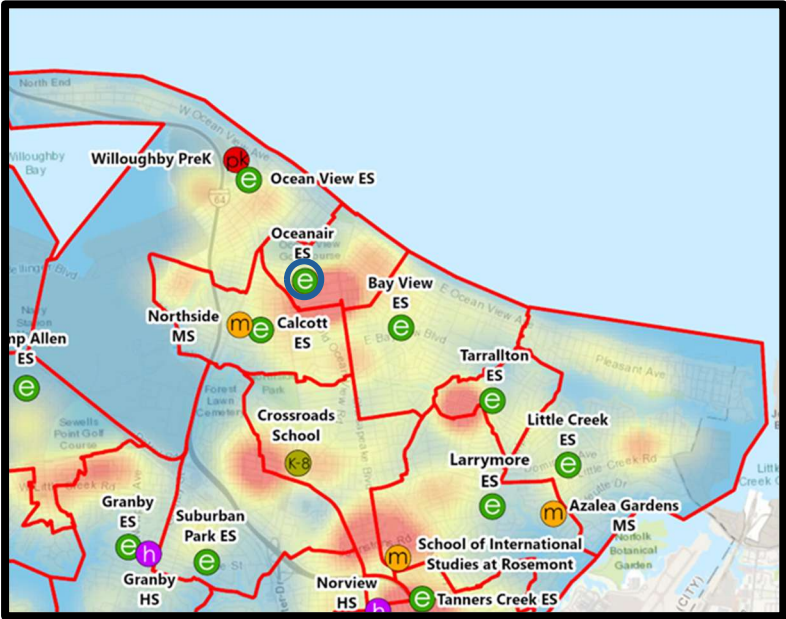
TARRALLTON ELEMENTARY SCHOOL



Acreage	15.2
Age	61
Capacity w/Portables	405
2024 Enrollment	285
2024 Utilization	70%
2025 FCI	74%
Replacement Value	\$21M
Rec. Year	1
School Year	2026-27
Action	Close
FMP Plan	Close Tarrallton ES
Relocation Plan: Relocate K-5 students to Little Creek ES.	

- Tarrallton ES has a high FCI (74%) with >\$14M in priority renovations
- 61 years old
- Foundation is sinking into the substrate
 - Last year had to have a contractor drink holes in the slab and inject foam to bring the floor back to level with the walls
- Enrollment has declined 33% in the last 10 years
- Current enrollment is <300 students
- Little Creek ES is 1.5 miles away
 - Just received new HVAC in both buildings: New roof in process
 - Entire population can fit into Little Creek
 - Based on current populations of both schools (864 students), utilization would be 96%
 - Over the next three years (2028-29) utilization is projected to decline to 79% (713 students)

OCEANAIR ELEMENTARY SCHOOL



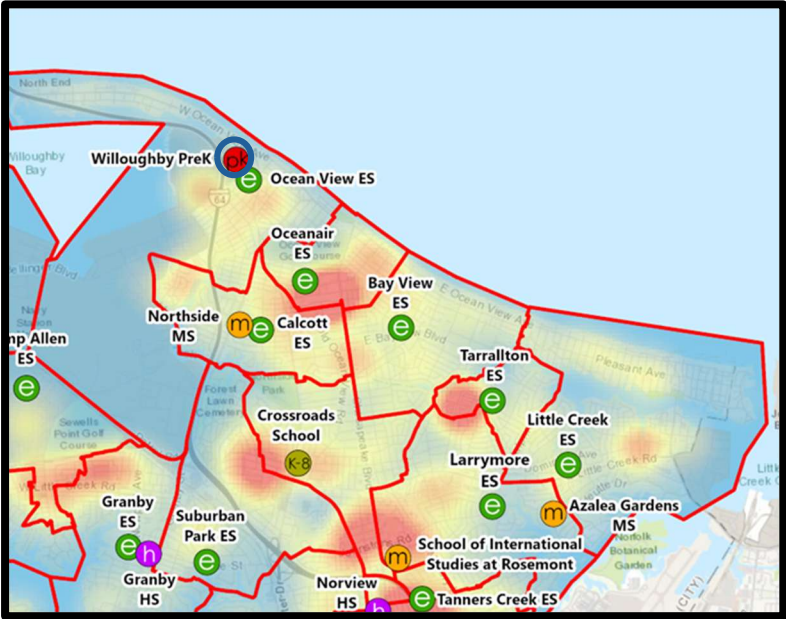
Acreage	17.7
Age	69
Capacity w/Portables	495
2024 Enrollment	398
2024 Utilization	80%
2025 FCI	63%
Replacement Value	\$29M
Rec. Year	2
School Year	2027-28
Action	Repurpose
FMP Plan	Repurpose Oceanair ES

Relocation Plan: Relocate students to Calcott ES and Bayview ES.

Notes: Repurpose Oceanair ES for an ECC. Calcott has a new roof and HVAC, Bayview has new HVAC.

- Oceanair ES is receiving new windows this summer (2025) with recent new roof and HVAC (2023-24)
- Located at the center of area population, increasing accessibility for early childhood program
- Current traffic challenge leaving Willoughby in the afternoons, competing with base traffic and causing daily bus delays

WILLOUGHBY ELEMENTARY SCHOOL

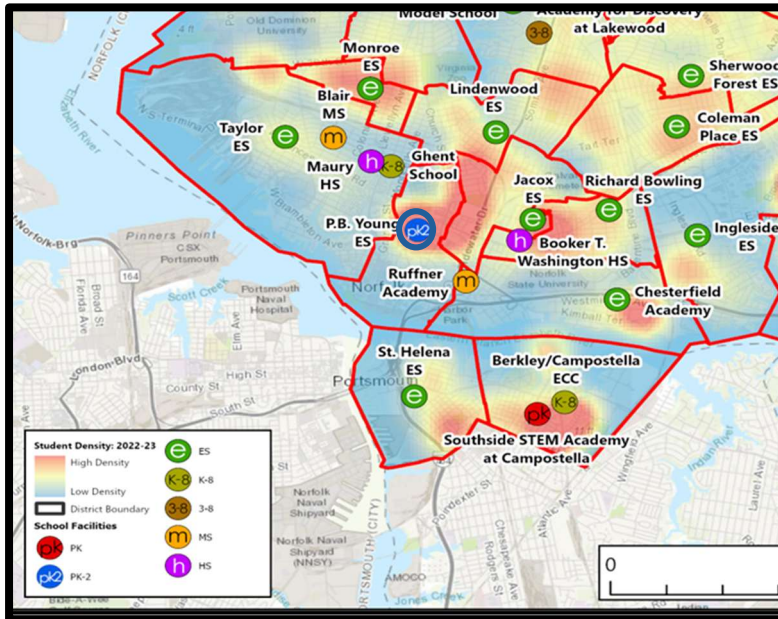


Acreage	12
Age	58
Capacity w/Portables	428
2024 Enrollment	172
2024 Utilization	40%
2025 FCI	68%
Replacement Value	\$27M
Rec. Year	2
School Year	2027-28
Action	Close
FMP Plan	Close Willoughby ES
Relocation Plan:	Move program into Oceanair ES

Notes:

- See previous

P. B. YOUNG ELEMENTARY SCHOOL

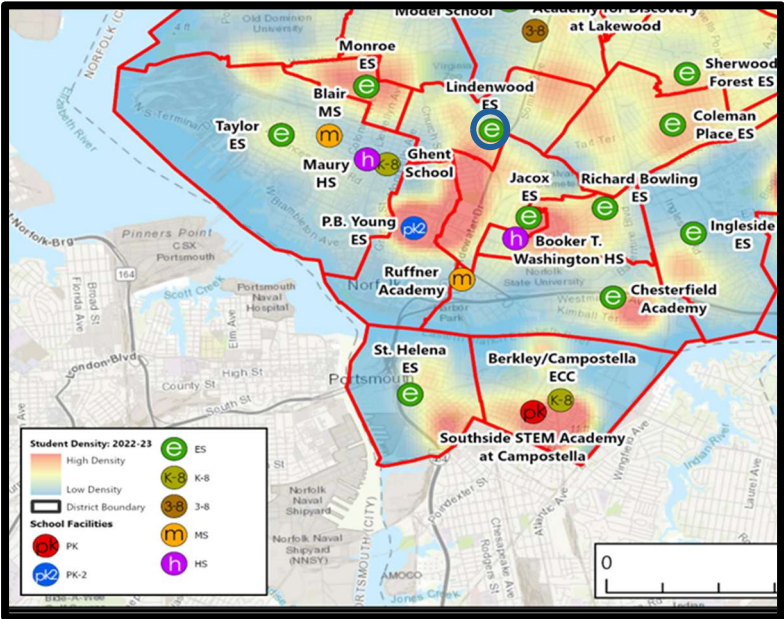


Notes: Convert Ruffner from a 3-8 to a K-8.

Acreage	8
Age	71
Capacity w/Portables	450
2024 Enrollment	238
2024 Utilization	53%
2025 FCI	77%
Replacement Value	\$25M
Rec. Year	3
School Year	2028-29
Action	Close
FMP Plan	Close PB Young ES
Relocation Plan:	Relocate students to Ruffner

- 3rd highest FCI (77%) with \$17M in priority renovations
- 71 years old
- <250 enrollment, 54% utilization
- Minimal program change to make Ruffner a K-8 from a 3-8
- Ruffner currently utilized at 55% and projected to decline
- 1.1 miles from PB Young to Ruffner

LINDENWOOD ELEMENTARY SCHOOL

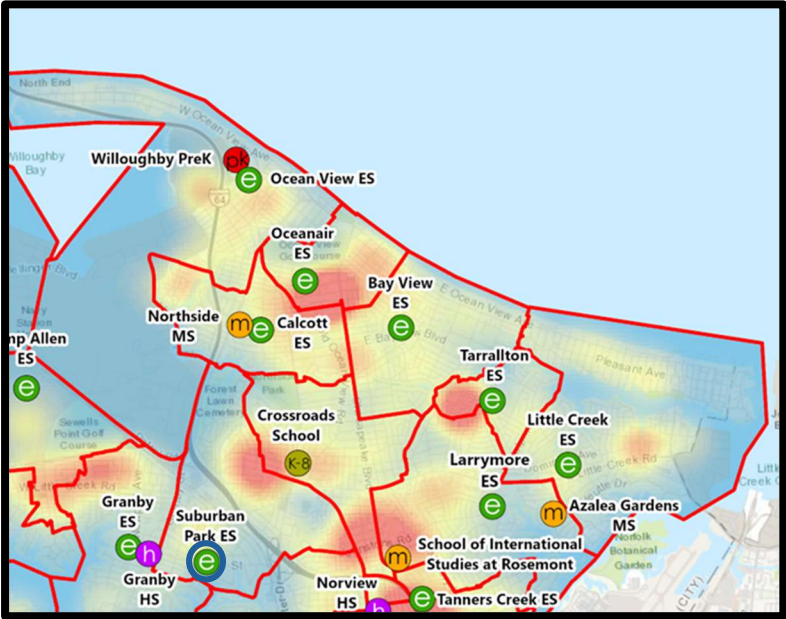


Acreage	9.5
Age	722
Capacity w/Portables	293
2024 Enrollment	239
2024 Utilization	82%
2025 FCI	72%
Replacement Value	\$25M
Rec. Year	3
School Year	2028-29
Action	Close
FMP Plan	Close Lindenwood ES
Relocation Plan:	Relocate students to Willard ES

Notes: Willard has a new roof and HVAC.

- High FCI (72%) with \$16M in priority renovations
- 72 years old
- <250 enrollment
- 42% enrollment decline in the last ten years
- Current & project population can be accommodated at Willard ES (2.3 miles)
- Move would promote diversity

SUBURBAN PARK ELEMENTARY SCHOOL

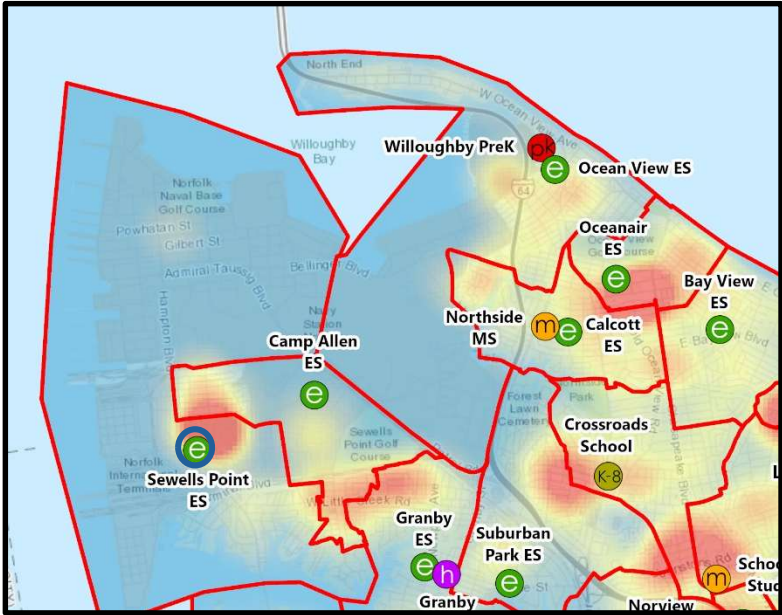


Acreage	15
Age	70
Capacity w/Portables	540
2024 Enrollment	406
2024 Utilization	75%
2025 FCI	64%
Replacement Value	\$28M
Rec. Year	4
School Year	2029-30
Action	Rebuild
FMP Plan	Rebuild Suburban Park on-site
Relocation Plan:	Rebuild Suburban Park ES

Notes: Most current Granby and Suburban Park students would attend the new school.

- High FCI (64%) with \$16M in priority renovations
- 70 years old
- 17% enrollment decline in the last ten years
- Funds already approved for Granby rebuild; this school would accommodate most → all Granby and Suburban Park populations based on projections

SEWELLS POINT ELEMENTARY SCHOOL



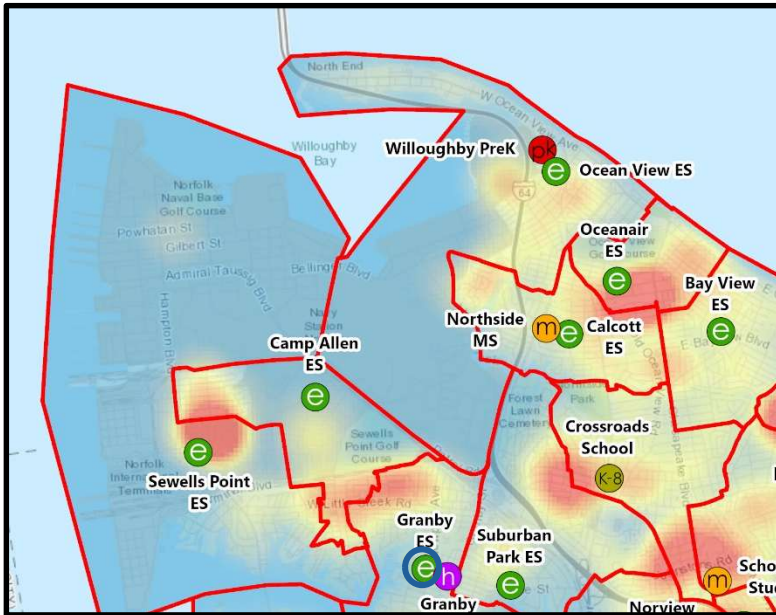
Acreage	8.9
Age	69
Capacity w/Portables	563
2024 Enrollment	501
2024 Utilization	89%
2025 FCI	68%
Replacement Value	\$28M
Rec. Year	4
School Year	2029-30
Action	Renovate
FMP Plan	Renovate Sewells Point ES

Relocation Plan: N/A

Notes:

- High FCI (68%) with \$16M in priority renovations
- 69 years old
- New roof replacement in process (summer 2025)
- Need to maintain facility in this region (89% utilization)

GRANBY ELEMENTARY SCHOOL

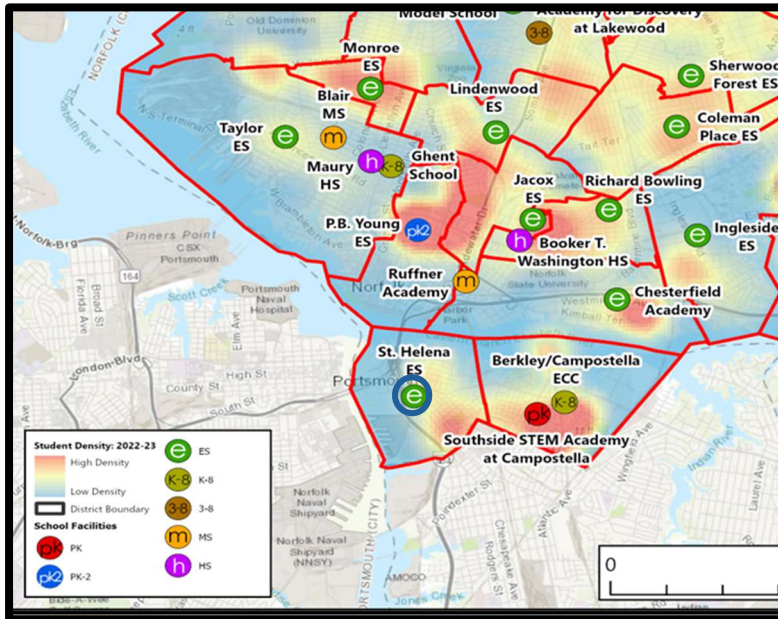


Acreage	9
Age	77
Capacity w/Portables	653
2024 Enrollment	456
2024 Utilization	70%
2025 FCI	82%
Replacement Value	\$38M
Rec. Year	5
School Year	2030-31
Action	Close
FMP Plan	Close Granby ES

Relocation Plan: Relocate students in the northern boundary to Camp Allen & Sewells Point ES. Relocate students in the southern boundary to Taylor ES.

- Highest FCI (82%) with \$25M in priority renovations
- 77 years old
- 31% enrollment decline in the last ten years
- Closure allows Granby HS to build comprehensive athletic fields
- See notes for Suburban Park
 - funds previously approved for rebuild of Granby can serve most Granby and Suburban Park populations

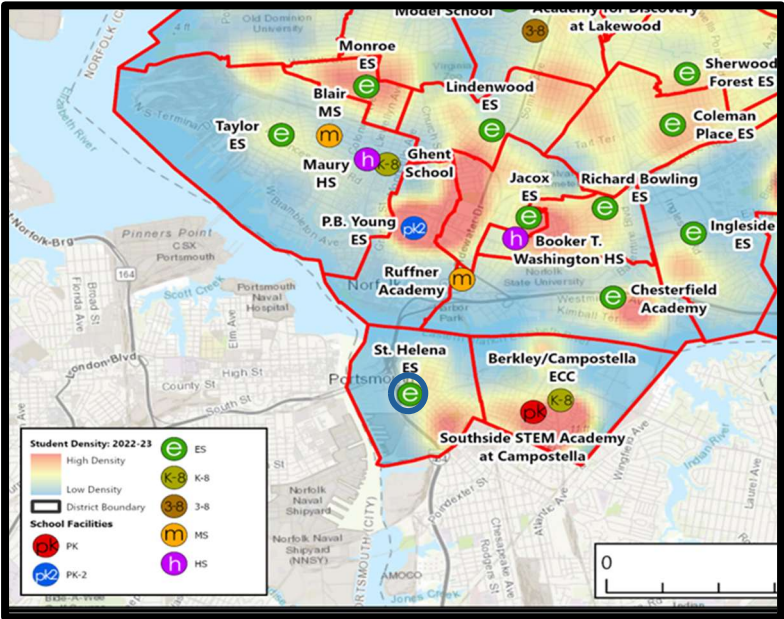
ST. HELENA ELEMENTARY SCHOOL



Acreage	13.2
Age	59
Capacity w/Portables	293
2024 Enrollment	227
2024 Utilization	78%
2025 FCI	70%
Replacement Value	\$17M
Rec. Year	5
School Year	2030-31
Action	Repurpose
FMP Plan	Repurpose St. Helena ES for ECC
Relocation Plan:	Relocate students to South Side STEM Academy

- Highest FCI (70%) with \$8M in priority renovations
- 59 years old
- 33% enrollment decline in the last ten years
- <230 students
- All students would be accommodated at Southside STEM Academy K-8 (1.7 miles)
 - >1,000 capacity
 - Current enrollment is 676, 63% utilized
- Maintains area PK program

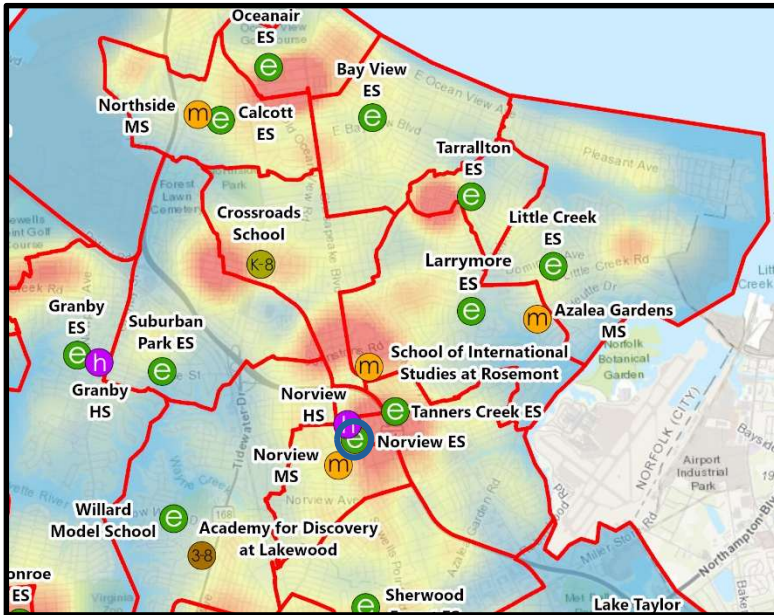
BERKELEY/CAMPOSTELLA ECC



Acreage	10.6
Age	72
Capacity w/Portables	300
2024 Enrollment	-
2024 Utilization	0%
2025 FCI	71%
Replacement Value	\$21M
Rec. Year	5
School Year	2030-31
Action	Close
FMP Plan	Close Berkley ECC
Relocation Plan:	Move program to St. Helena ES.

- High FCI (71%) with \$13M in priority renovations
- 72 years old
- Currently serves 165 ECC students
- Relocate all students repurposed St. Helena (1.7 miles)

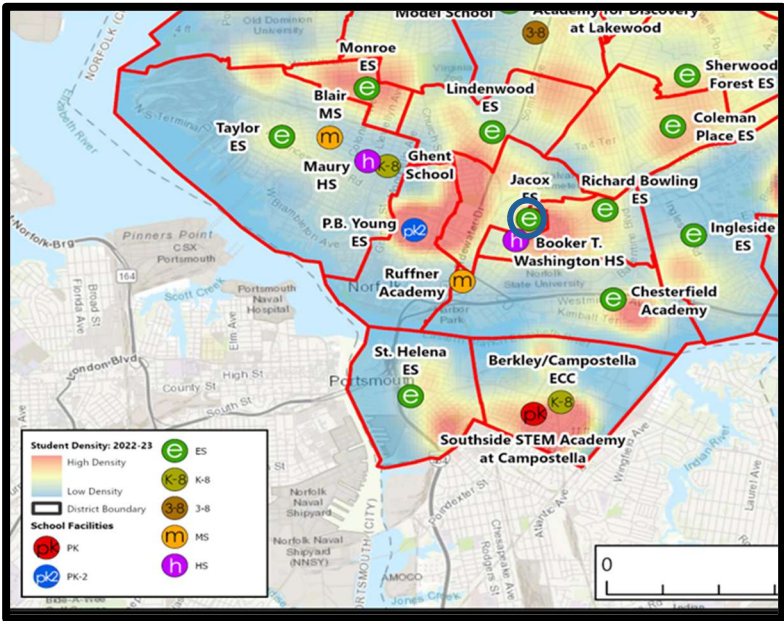
NORVIEW ELEMENTARY SCHOOL



Acreage	14.2
Age	73
Capacity w/Portables	383
2024 Enrollment	406
2024 Utilization	106%
2025 FCI	82%
Replacement Value	\$26M
Rec. Year	6
School Year	2031-32
Action	Close
FMP Plan	Close Norview ES
Relocation Plan: Relocate students to Tanners Creek & Sherwood Forest ES.	

- Second-highest FCI (82%) with \$18M in priority renovations
- 73 years old
- 15% enrollment decline in the past ten years
- < 400 capacity, using 14 portables to support current population
- Students can be accommodated between Tanners Creek (1.5 miles) and Sherwood Forest (1.9 miles)

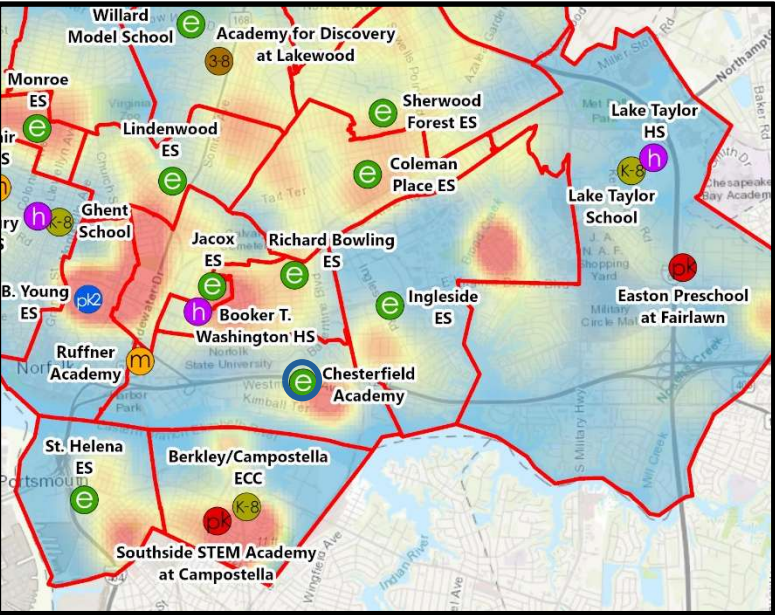
JACOX ELEMENTARY SCHOOL



Acreage	11.7
Age	76
Capacity w/Portables	810
2024 Enrollment	591
2024 Utilization	73%
2025 FCI	77%
Replacement Value	\$36M
Rec. Year	6
School Year	2031-32
Action	Rebuild
FMP Plan	Rebuild Jacox ES
Relocation Plan:	Work with the city to explore potential rebuild on an adjacent property for a land swap.

- High FCI (77%) with \$21M in priority renovations
- 76 years old
- 13% enrollment decline in the past ten years
- Rebuild already approved by the BOE

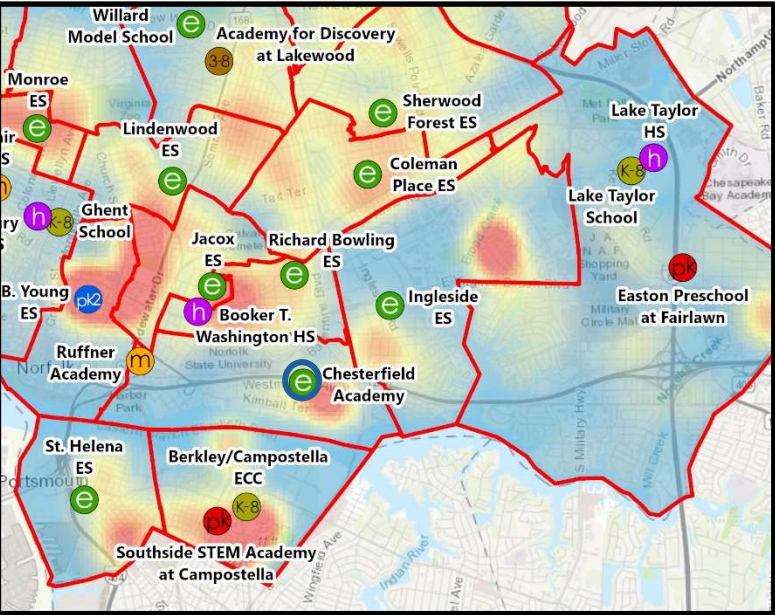
CHESTERFIELD ACADEMY



Acreage	12.3
Age	72
Capacity w/Portables	540
2024 Enrollment	325
2024 Utilization	60%
2025 FCI	70%
Replacement Value	\$27M
Rec. Year	7
School Year	2032-33
Action	Repurpose
FMP Plan	Repurpose Chesterfield ES
Relocation Plan:	Relocate students to rebuilt Jacox ES and Richard Bowling ES.

- High FCI (70%) with \$15M in priority renovations
- 72 years old
- 35% enrollment decline in the past ten years
- <350 students
- Students would move to a rebuilt Jacox (1.9) and new Richard Bowling ES (1.2)

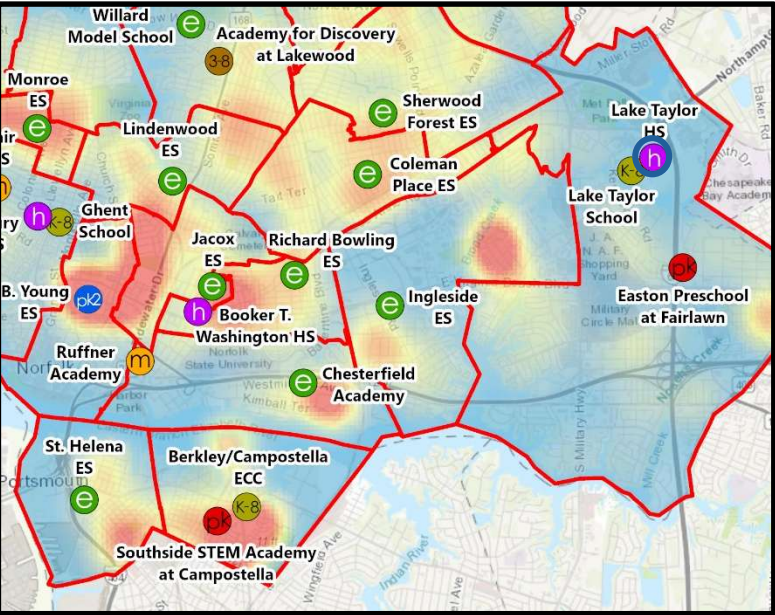
SECEP FACILITY



Acreage	11.9
Age	71
Capacity w/Portables	
2024 Enrollment	
2024 Utilization	
2025 FCI	Not assessed
Replacement Value	
Rec. Year	
School Year	
Action	Close
FMP Plan	Close SECEP facility
Relocation Plan:	Move program into Chesterfield ES

- Relocate to Chesterfield Academy after Jacox is rebuilt

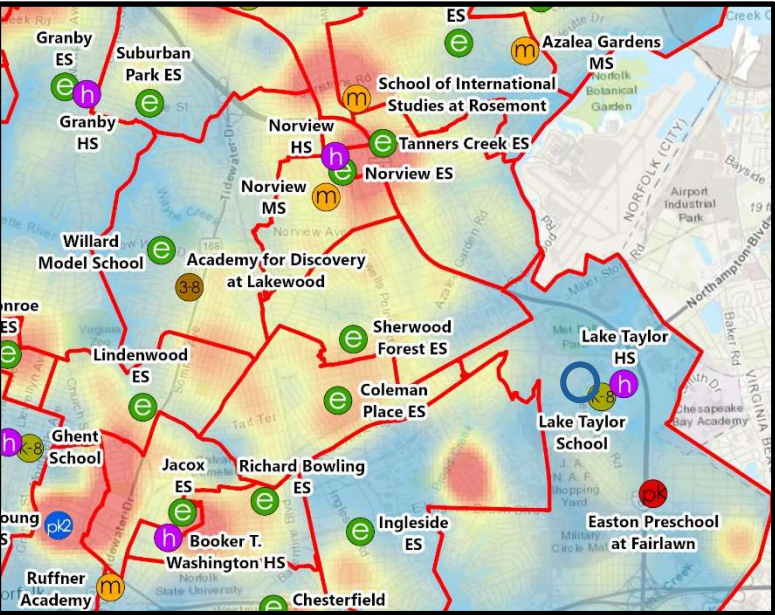
LAKE TAYLOR HIGH SCHOOL



Acreage	-
Age	57
Capacity w/Portables	1,527
2024 Enrollment	1,047
2024 Utilization	69%
2025 FCI	56%
Replacement Value	\$140M
Rec. Year	7
School Year	2032-33
Action	Repurpose
FMP Plan	Repurpose LTHS
Relocation Plan:	Repurpose LTHS for comprehensive CTE program.

- Currently being studied for repurposing as a comprehensive CTE HS

NORFOLK TECHNICAL CENTER



Acreage	-
Age	56
Capacity w/Portables	500
2024 Enrollment	-
2024 Utilization	-
2025 FCI	61%
Replacement Value	\$68M
Rec. Year	7
School Year	2032-33
Action	Close
FMP Plan	Close NTC facility
Relocation Plan:	Move program into LTHS

- High FCI (61%) with \$25M in priority renovations
- Move to repurposed LTHS as a comprehensive CTE